

LANDS OF SHEA PROPERTIES, LLC
540-580 GIBSON DRIVE
ROSEVILLE, CA

TENTATIVE MAP
EXISTING LOTS

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES
0 1 2'

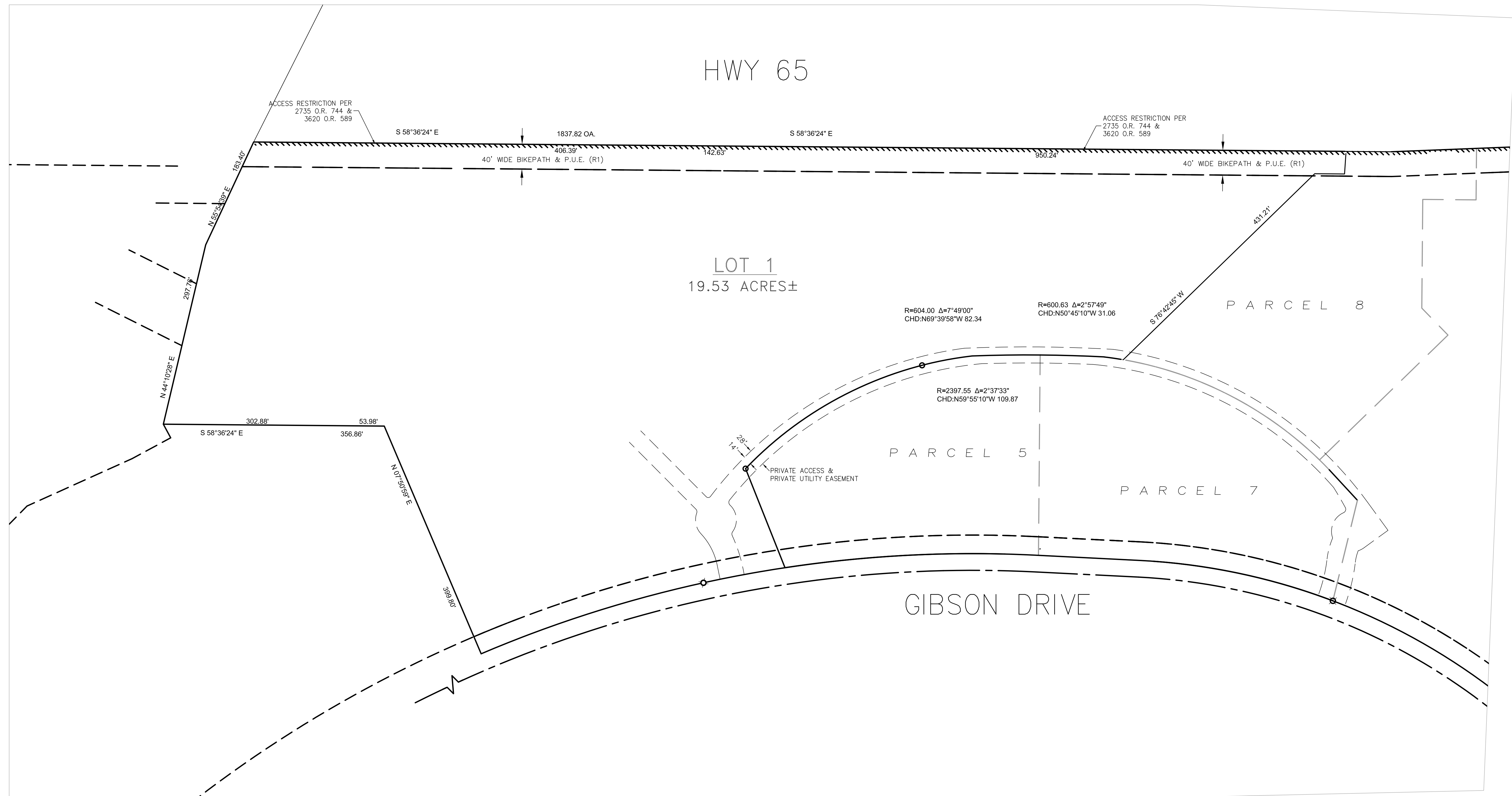
HORIZ. SCALE:
VERT. SCALE:
(E) CONTOUR INTERVAL:

SHEET
1 OF 2

NO.	BY	DATE	APP'D	DATE	REVISIONS

DESIGNED BY
DRAFTED BY
CHECKED BY
JOB NO
PROJECT NO.
DATE
DATE

PROJECT_NAME



LANDS OF SHEA
PROPERTIES, LLC
540-580 GIBSON DRIVE
ROSEVILLE, CA

TENTATIVE MAP
PROPOSED LOTS

FOR REDUCED PLANS
ORIGINAL SCALE IS IN INCHES

HORIZ. SCALE: _____
VERT. SCALE: _____

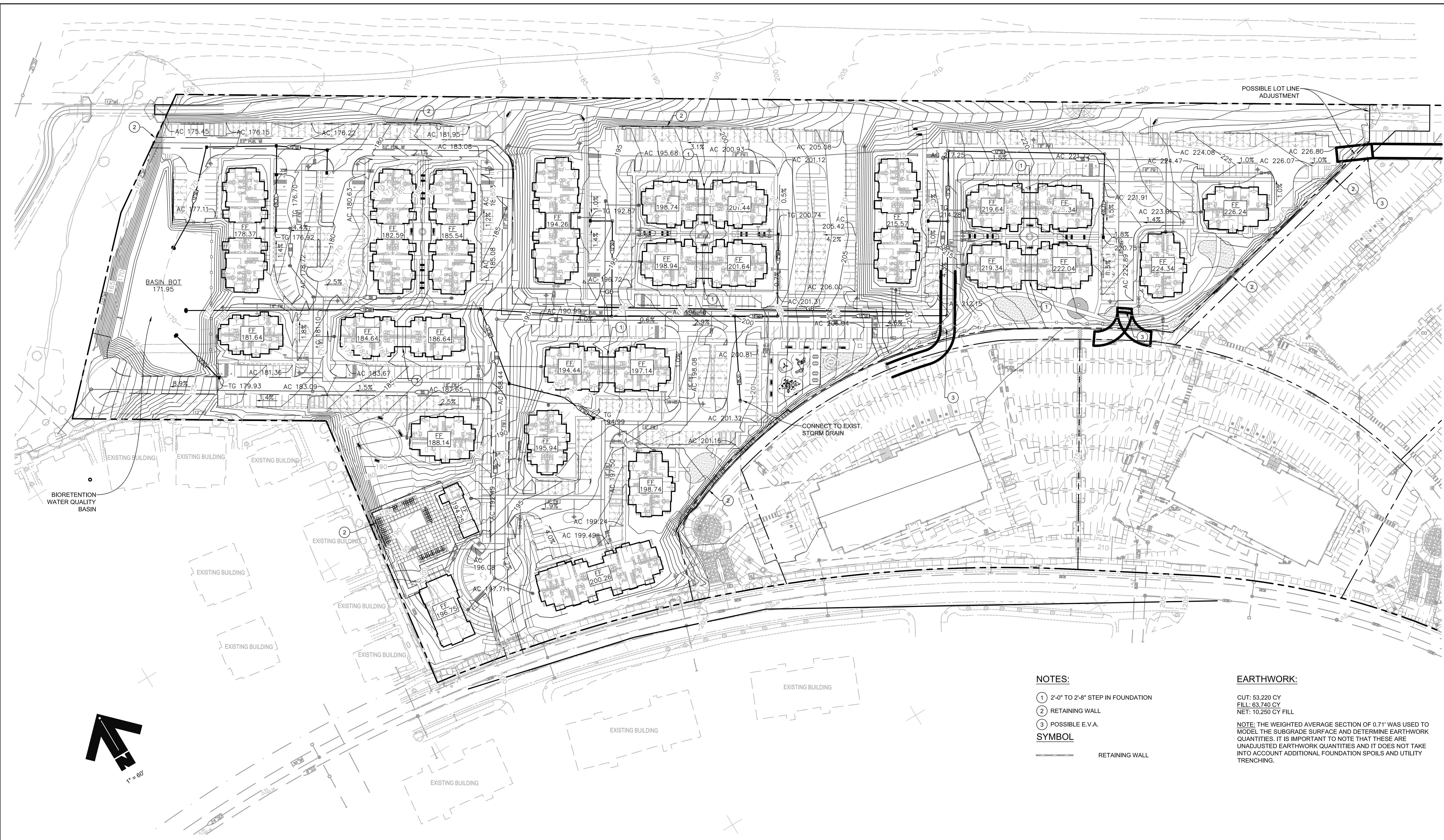
(E) CONTOUR
INTERVAL _____

SHEET
2 OF 2

NO.	BY	DATE	APP'D	DATE	REVISIONS

DESIGNED BY _____
DRAFTED BY _____
CHECKED BY _____
JOB_NO _____
PROJECT NO. _____
DATE _____
DATE _____

PROJECT_NAME

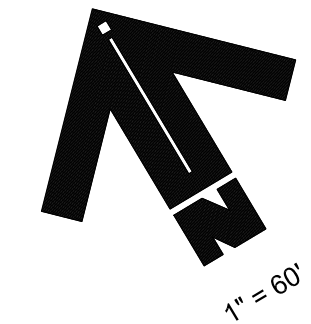


POSSIBLE LOT LINE ADJUSTMENT

BASIN BOT
171.95

CONNECT TO EXIST.
STORM DRAIN

BIORETENTION
WATER QUALITY
BASIN



1" = 60'

NOTES:

- ① 2'-0" TO 2'-8" STEP IN FOUNDATION
- ② RETAINING WALL
- ③ POSSIBLE E.V.A.

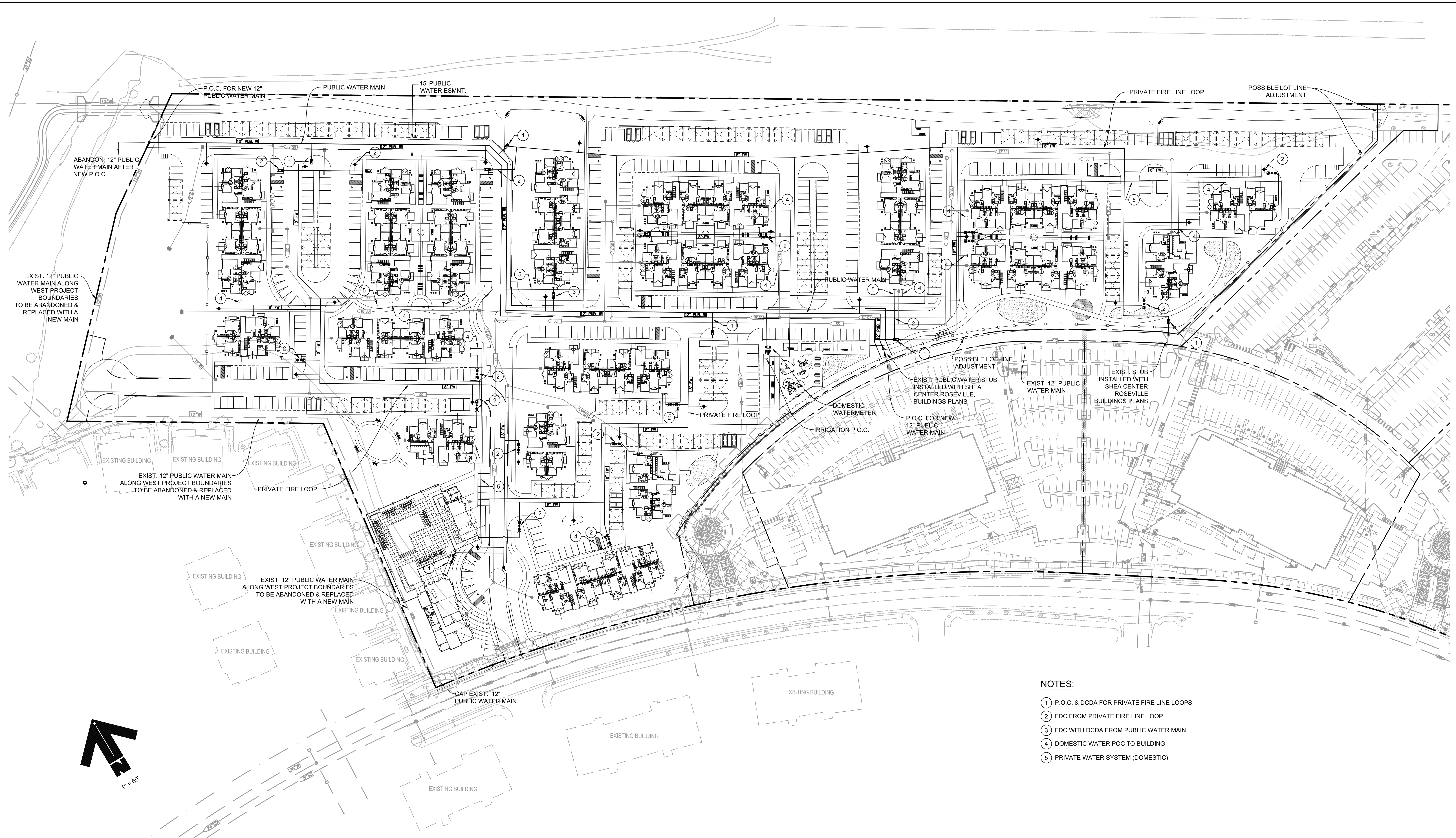
SYMBOL

————— RETAINING WALL

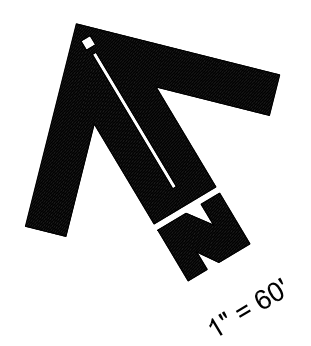
EARTHWORK:

CUT: 53,220 CY
 FILL: 63,740 CY
 NET: 10,250 CY FILL

NOTE: THE WEIGHTED AVERAGE SECTION OF 0.71' WAS USED TO MODEL THE SUBGRADE SURFACE AND DETERMINE EARTHWORK QUANTITIES. IT IS IMPORTANT TO NOTE THAT THESE ARE UNADJUSTED EARTHWORK QUANTITIES AND IT DOES NOT TAKE INTO ACCOUNT ADDITIONAL FOUNDATION SPOILS AND UTILITY TRENCHING.



- NOTES:**
- ① P.O.C. & DCDA FOR PRIVATE FIRE LINE LOOPS
 - ② FDC FROM PRIVATE FIRE LINE LOOP
 - ③ FDC WITH DCDA FROM PUBLIC WATER MAIN
 - ④ DOMESTIC WATER POC TO BUILDING
 - ⑤ PRIVATE WATER SYSTEM (DOMESTIC)



SHEA ROSEVILLE
 ROSEVILLE, CA
 TLA # 1629

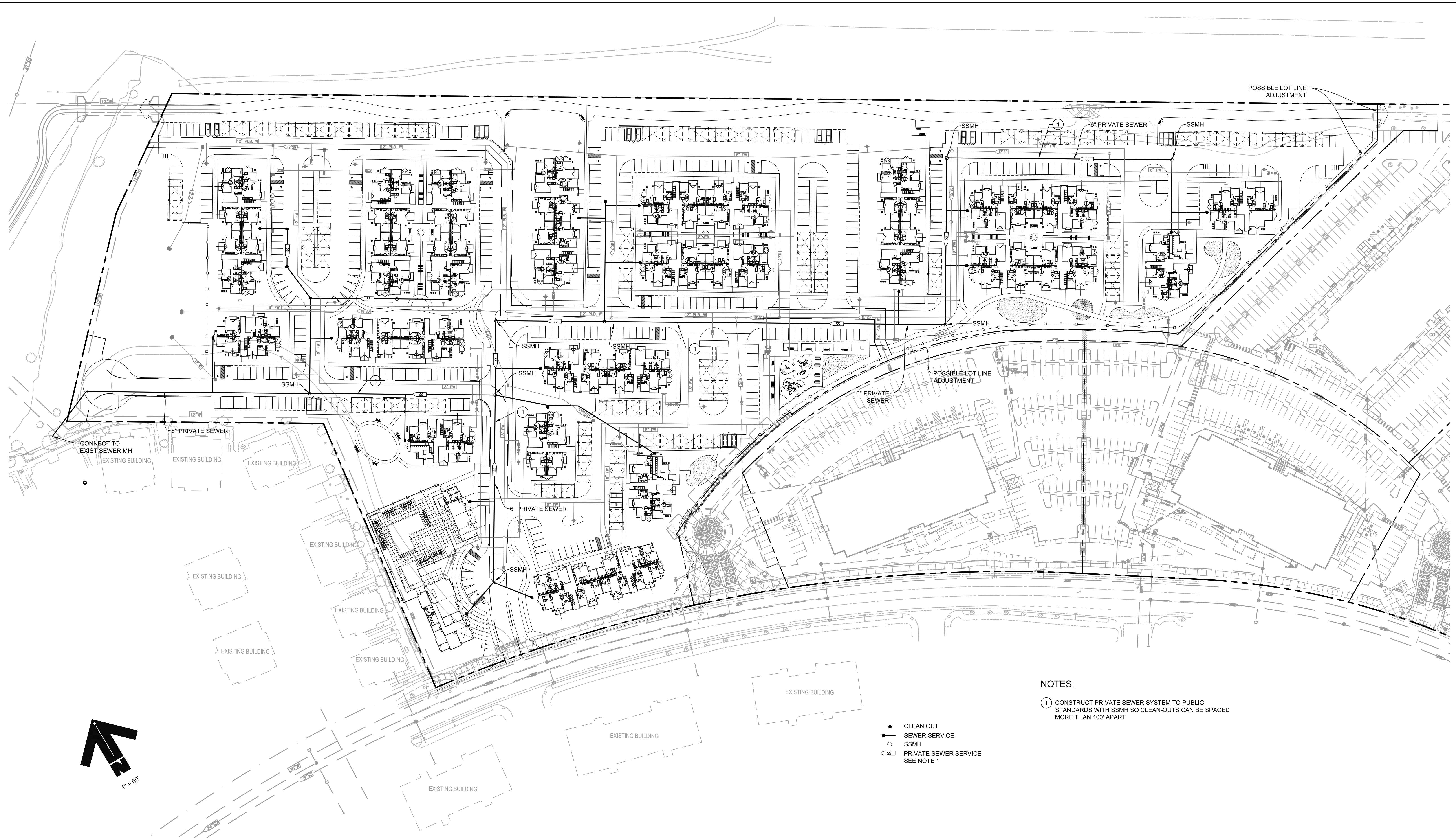
TLA
 ENGINEERING AND PLANNING
 1504 EUREKA ROAD, SUITE 110
 ROSEVILLE, CA 95661 916.786.0685

SHEA PROPERTIES

ENTITLEMENT SUBMITTAL
 DECEMBER, 2022



CONCEPTUAL WATER PLAN



1" = 60'

NOTES:

① CONSTRUCT PRIVATE SEWER SYSTEM TO PUBLIC STANDARDS WITH SSMH SO CLEAN-OUTS CAN BE SPACED MORE THAN 100' APART

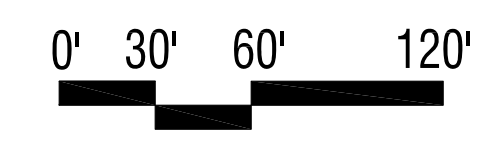
- CLEAN OUT
- SEWER SERVICE
- SSMH
- ▭ PRIVATE SEWER SERVICE
SEE NOTE 1

SHEA ROSEVILLE
ROSEVILLE, CA
TLA # 1629

TLA
ENGINEERING AND PLANNING
1504 EUREKA ROAD, SUITE 110
ROSEVILLE, CA 95661 916.786.0685

SHEA PROPERTIES

ENTITLEMENT SUBMITTAL
DECEMBER, 2022



CONCEPTUAL SEWER PLAN



ALL ONSITE DRAINAGE PLUS SOME OFFSITE SHED AREA TO BE COLLECTED AND ROUTED TO THE BIORETENTION BASIN

IMPERVIOUS AREAS			
TOTAL DMA AREA	ONSITE	OFFSITE	TOTAL
BUILDING FOOTPRINT	144,426	12,640	157,066
AC PAVING	288,277	39,631	327,908
CONCRETE WALK/PATIO	74,649	3,668	78,317
TOTAL IMPERVIOUS AREAS	507,352	55,939	563,291

LANDSCAPE AREAS			
BASIN	OTHER PERVIOUS AREAS	TOTAL PERVIOUS AREAS	
21,163	263,645	284,808	
-	7,773	7,773	21,163
	292,518	292,518	271,418

TOTAL AREAS			
TOTAL IMP. AND PERV. AREAS			
792,160	63,712	855,872	